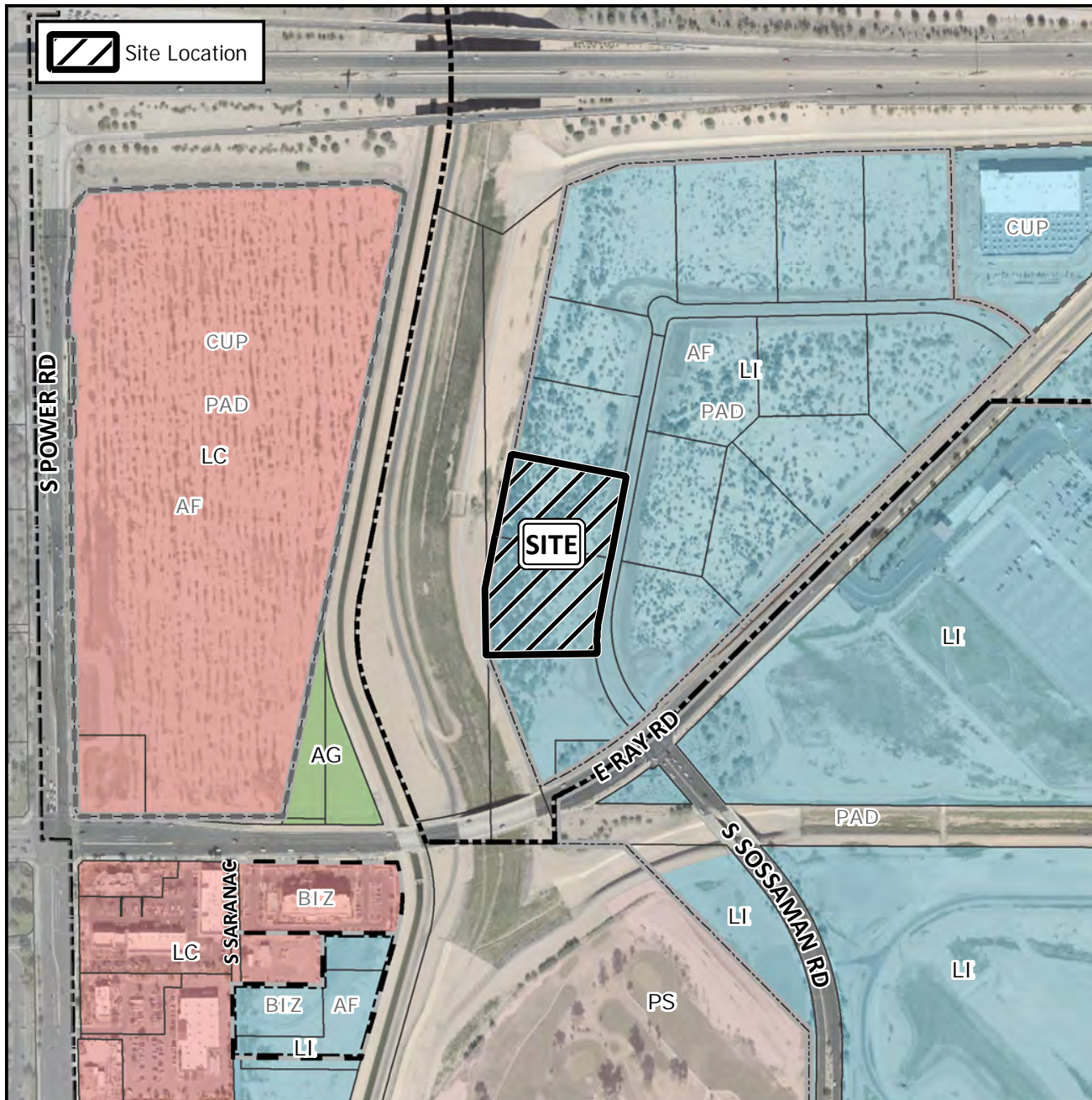


Design Review Vicinity Map: DRB19-00915

Case Details



Case:

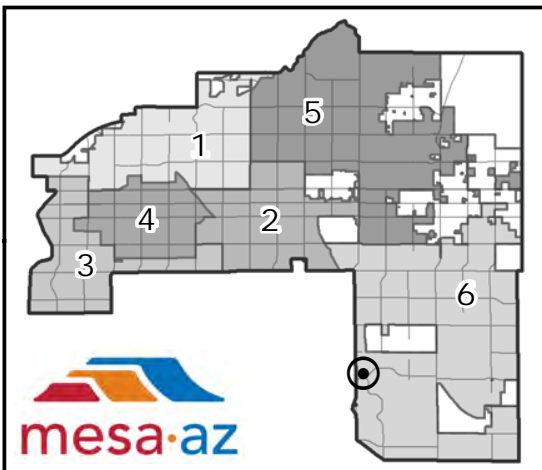
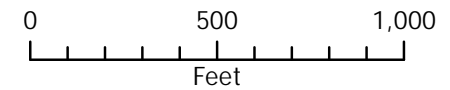
DRB19-00915

Site / Address:

District 6. Located east of Power Road and north of Ray Road. (5± acres)

Request:

Requesting the review of an industrial development.



November 25, 2019

City of Mesa.

55 North Center Street
Mesa, AZ

Attn: City Planner

**RE: AEI Mesa Gateway
5028, 5042 & 5054 South 71st Street, Mesa, Arizona**

Project Description

This industrial park is not yet developed though it is filling fast. We along with the developer of this site have proposed two 24 foot clear height speculative office warehouse buildings with three main entrances with yards surrounded by 8' high CMU screen walls to screen a secure outdoor storage that tenants may want to utilize.

The northern building, being proposed as 5028 & 5042 S. 71st Street is 46,713 in building area with entries off the north and south end of the building along 71st Street. Each tenant would have a separate curb cut for their entries with visitor parking off the street and a gated entry to the rear yard with more parking, trucking and storage behind the buildings.

The southern building 5054 South 71st Street, is 20,228 SF single user building with the entry on the south side of the building in a similar configuration as the buildings to the north.

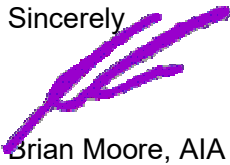
Both these buildings will be marketed primarily for warehouse storage where the parking we have provided will more than adequately meet the demand by future tenants. We have calculated the building at 25% office and the remainder warehouse storage.

The main building entrances have been designed facing the street as outlined in the district vision and expectations. A large section of the building has been recessed into the building and highlighted with color. Large shade canopies providing shade for incoming pedestrians and providing shading for office fenestration. The metal canopies and tilt panels above are supported by steel columns with a large extent of glass. Generous concrete sidewalks have been provided from the street as well as from the visitor parking. The 71st street elevation has been provided with variation in parapet height and variation in plane by offsetting the tilt panels. Steel has also been reintroduced at the recessed tilt panels to tie in with the building entrances.

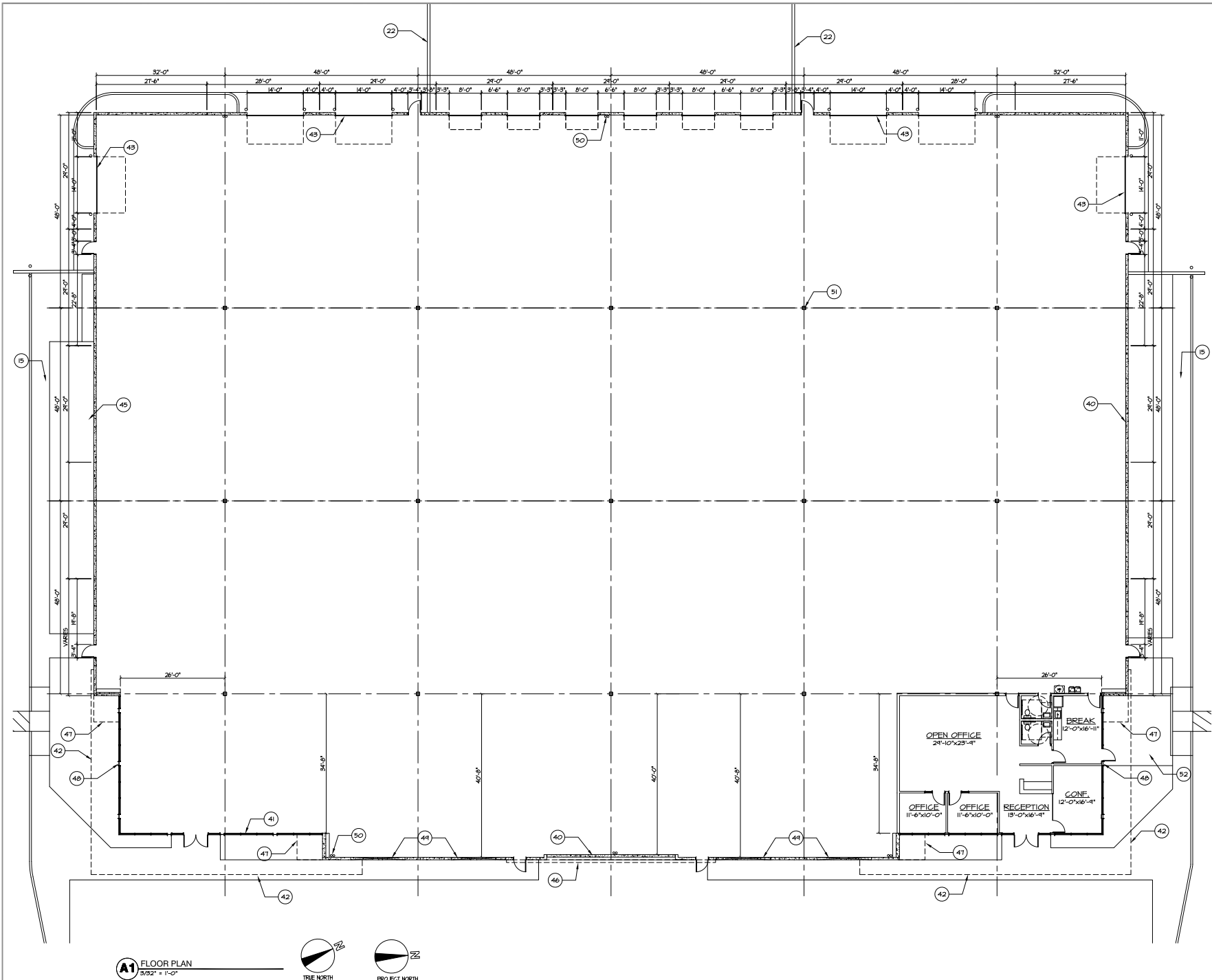
Generous landscaping has been provided around the building perimeter ahead of the concrete block screen wall surrounding the storage yard. We have provided areas for outdoor patio seating areas with shade adjacent to both buildings for future staff to enjoy the outdoors.

Please let me know if you have any further questions.

Sincerely



Brian Moore, AIA
Principal, BCMA Architecture P.C.



- KEY NOTES**
- 5. 8' HIGH SCREEN WALLS TO TRACKING
 - 20. TILT CONCRETE GUARDRAIL MIN 2'-6" ABOVE HIGHEST ADJACENT GRADE
 - 40. TILT CONCRETE WALLS
 - 41. DUAL PANE IBCG COMPLIANT STOREFRONT
 - 42. STEEL CANOPY ABOVE
 - 43. 14' X 14' OVERHEAD DOOR
 - 44. 8'X10' OVERHEAD DOOR
 - 45. SEES
 - 46. STEEL BEAM ABOVE
 - 47. TILT PANEL HALL ABOVE
 - 48. STEEL SUPPORT COLUMNS
 - 49. ROCK OFF PANELS
 - 50. ROOF DRAINS
 - 51. COLUMNS
 - 52. OUTDOOR PATIO

A1 FLOOR PLAN
 3/32" = 1'-0"

TRUE NORTH
 PROJECT NORTH

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BCMA ARCHITECTURE

ARCHITECTURE
 PLANNING
 COLLABORATION

222 W. WASHINGTON TEMPE, AZ 85284
 T: 480.212.1199 F: 480.964.0222



MESA GATEWAY
 5028, 5042 & 5054 SOUTH 71ST STREET
 MESA, AZ

11/22/2019
 1/13/2020

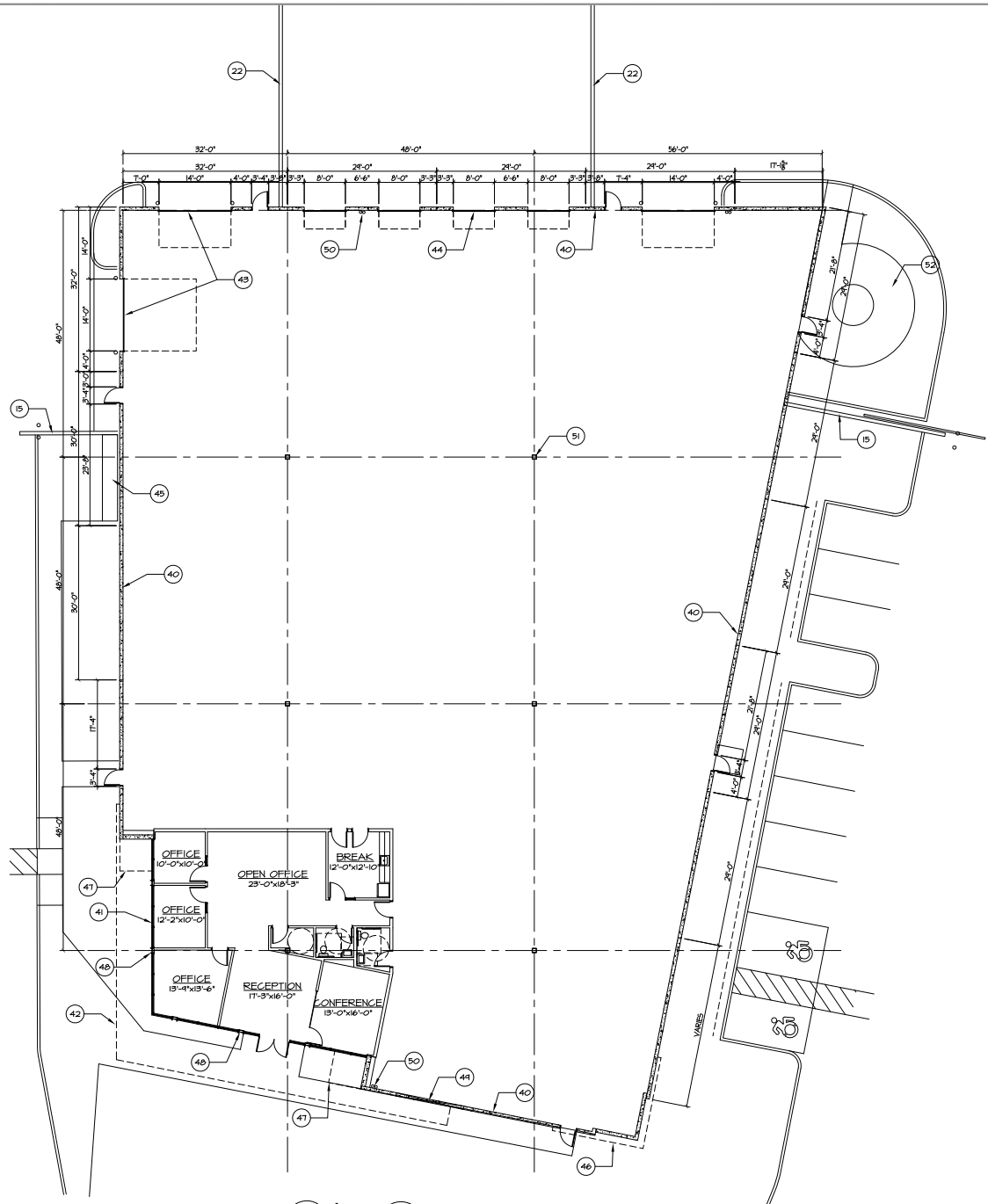
1/13/2020
 DR / SITE PLAN REV 1

10212 Job Number
 1/22/2020 Date

FLOOR PLAN
 5028 + 5042
 S. 71ST STREET

A-201

1/13/2020 - DR / SITE PLAN REVISION 1



- KEY NOTES**
- 15. 8' HIGH SCREEN WALLS TO TRUCKING
 - 22. TILT CONCRETE GUARDRAIL MIN 3'-6" ABOVE HIGHEST ADJACENT GRADE
 - 40. TILT CONCRETE WALLS
 - 41. DUAL PANE IEGG COMPLIANT STOREFRONT
 - 42. STEEL CANOPY ABOVE
 - 43. 14' X 14' OVERHEAD DOOR
 - 44. 8'X10' OVERHEAD DOOR
 - 45. SES
 - 46. STEEL BEAM ABOVE
 - 47. TILT PANEL HALL ABOVE
 - 48. STEEL SUPPORT COLUMNS
 - 49. BRICK OUT PANELS
 - 50. ROOF DRAINS
 - 51. GROUNDING
 - 52. OUTDOOR PATIO

A1 FLOOR PLAN
3/32" = 1'-0"

TREE NORTH
PROJECT NORTH

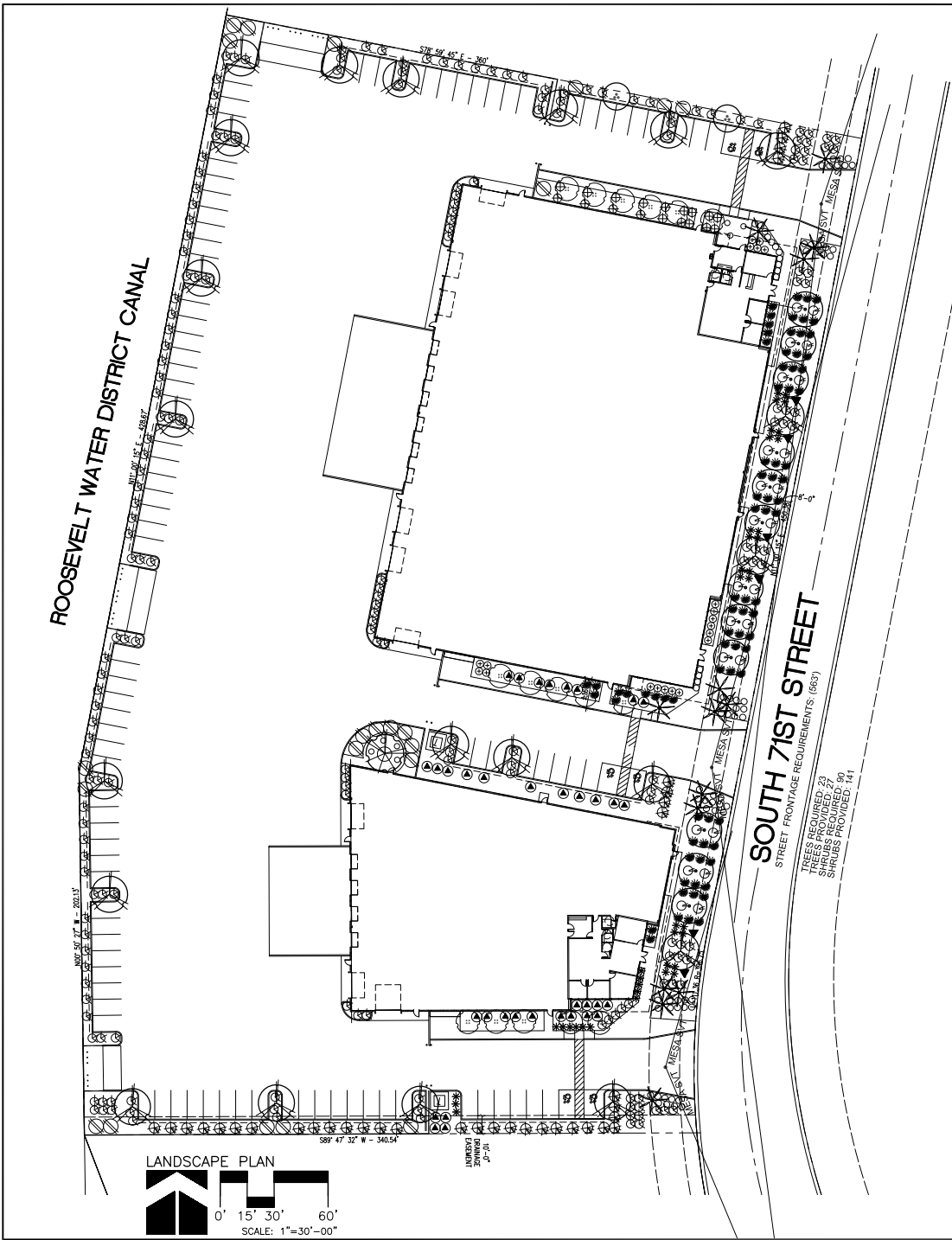


MESA GATEWAY
5028, 5042 & 5054 SOUTH 71ST STREET
MESA, AZ

DATE	11/22/2019
BY	DR / SITE PLAN REV1
BY	DR / SITE PLAN REV1
BY	
BY	
BY	
BY	

10212 Job Number
1/22/2020 Date
FLOOR PLAN
5054 & 78T STREET

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LANDSCAPE LEGEND

- TREES**
- Parkinsonia hybrid 'Desert Museum' Desert Museum Palo Verde 48" Box Multi trunk
 - Chilopsis linearis 'Art's Seedless' Desert Willow 15 Gallon
 - Sophora secundiflora Texas Mtn Laurel 24" Box
 - Caesalpinia mexicana Mexican Bird of Paradise 36" Box Multi trunk
 - Quercus virginiana Southern Live Oak 24" Box
 - Washingtonia robusta Mexican Fan Palm - 12 Tr Ft Skinned, Straight and Matching
 - Pistacia atlantica x integerrima Red Push 36" Box
- SHRUBS**
- Nerium oleander 'Petite Pink' Petite Pink Oleander 5 Gallon
 - Callistemon 'Little John' Dwarf Callistemon 5 Gallon
 - Eremophila maculata 'Valentine' Valentine Bush 5 Gallon
 - Calliandra eriophylla Fairy Duster 5 Gallon
 - Caesalpinia pulcherrima Red Bird of Paradise 5 Gallon
 - Baccharis hybrid 'Stam' Stam's Coyote Bush 5 Gallon
 - Tecoma stans Orange Jubilee 5 Gallon
 - Agave gemmiflora Twin Flowered Agave 5 Gallon
 - Euphorbia rigida Red Yucca 5 Gallon
 - Agave desmettiana Agave desmettiana 5 Gallon
 - Bougainvillea 'Barbara Karst' Bougainvillea 'staked' 5 Gallon

GROUND COVER

- Lantana montevidensis Dallas Red Lantana 1 Gallon
 - Lantana montevidensis Gold Mound 1 Gallon
 - Acacia redolens 'Desert Carpet' tm Desert Carpet tm Acacia 1 Gallon
 - Convolvulus cneorum Bush Morning Glory 1 Gallon
- D.G. 1/2" Screened Express Painted Desert 2" min thickness in all landscape areas

STREET FRONTAGE REQUIREMENTS: (663)
 TREES REQUIRED: 23
 SHRUBS PROVIDED: 23
 SHRUBS PROVIDED: 99
 SHRUBS PROVIDED: 141

CITY OF MESA LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS TO RECEIVE 2" LAYER DECOMPOSED GRANITE
 2. ALL LANDSCAPE AREA TO BE WATERED BY UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
 3. THE HEIGHTS AND CALIPERS SHALL COMPLY WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS FOR THAT SIZE AND TYPE OF TREE.
 4. REQUIRED TREES SHALL BE PROVIDED IN EQUAL NUMBERS OF 15 GALLON SIZE AND 24" BOX SIZE OR LARGER.
 5. REQUIRED SHRUBS SHALL HAVE A MATURE GROWTH HEIGHT OF 18" AT LEAST 50% OF REQUIRE SHRUBS SHALL BE 5 GALLON SIZE.
 6. PLANT MATERIAL SHALL BE CALCULATED BASED ON A LINEAR MODULE OF 25 FEET. TREES AND SHRUBS MAY BE CLUSTERED.
- ARTERIAL STREET:**
 (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
- MAJOR, MIDSECTION COLLECTOR STREET:**
 (2) TREES AND (6) SHRUBS PER 25' OF STREET FRONTAGE
- COLLECTOR/INDUSTRIAL/COMMERCIAL STREET:**
 (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE
- PUBLIC OR PRIVATE LOCAL STREET:**
 (1) TREES AND (4) SHRUBS PER 25' OF STREET FRONTAGE
7. PLANT MATERIAL SIZES REQUIRED:
TREES: (TOTAL REQUIRED TREES):
 25% SHALL BE 36" BOX OR LARGER
 50% SHALL BE 24" BOX OR LARGER
 NO TREES LESS THAN 15 GALLON
- SHRUBS: (TOTAL REQUIRED SHRUBS):**
 50% SHALL BE 5 GALLON OR LARGER.
 NO SHRUBS LESS THAN 1 GALLON
8. 1 TREES AND 3 SHRUBS FOR EVERY 15' PARKING ISLAND
 PARKING SHALL BE INSTALLED @ EACH END OF ROW OF STALLS AND IN BETWEEN FOR MAXIMUM OF EIGHT CONTIGUOUS PARKING SPACES
9. FOUNDATION LANDSCAPING: LANDSCAPING TO A MINIMUM HEIGHT OF 18" IS REQUIRED IMMEDIATELY ADJACENT TO OR PROVIDED IN PLANTER AREAS ADJACENT TO BUILDING, WHICH HAVE FRONTAGE ON A PUBLIC STREET. PLANTING AREAS MUST BE A MIN. OF 5' WIDE AND A MIN. OF 50% PLANT COVERAGE.
10. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE TESTED AND APPROVED BY A CERTIFIED TECHNICIAN DESIGNATED IN THE CURRENT CITY OF MESA LIST THE APPROVED INSPECTORS PRIOR TO THE REQUEST FOR FINAL INSPECTION.
11. THE REQUIRED BACKFLOW PREVENTION ASSEMBLY SHALL BE MANUFACTURER AND MODEL NUMBER DESIGNATED IN THE CURRENT CITY OF MESA LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES.
12. ALL WORK WILL BE DONE UNDER SEPARATE PERMIT FOR SIGNS.
13. ALL LANDSCAPING INSTALLED WITH THIS PROJECT TO BE MAINTAINED BY OWNERS ASSOC. OR OWNERS ASSOCIATION OF COMMERCIAL SUBDIVISION OR MANAGEMENT COMPANY IF COMMERCIAL RENTALS
14. THAT ALL TREES AND SHRUBS LOCATED IN LINE-OF-SIGHT WILL BE MAINTAINED TO A CLEAR AREA BETWEEN OF 3 TO 7'
15. RIP-RAP MUST BE ON NATURAL MATERIALS MATCHING D.G. COLORS CONCRETE OR GUNITE MUST BE COLORED TO MATCH D.G. COLOR
16. TREES SHALL BE PLANTED @ LEAST 20' AWAY FROM ANY STREET LIGHT POLE OR LOCATION. SHRUBS SHALL BE PLANTED @ LEAST 7' FEET AWAY FROM ANY STREET LIGHT POLE OR L.C.C.
17. 10% OF TOTAL TREES IN PARKING SHALL BE 36" BOX OR LARGER.

VISIBILITY TRIANGLE INFO:

VISIBILITY TRIANGLES ARE BASED ON CITY OF MESA PUBLIC STREET ACCESS GUIDELINES DATED FEB. 15, 2005.

STREET SPEED: 50 MPH
 STREET CROSS SECTION 7LU (88)
 FIGURE 2.3 (50MPH DESIGN SPEED)

ADDITIONAL NOTES:

THIS LANDSCAPE IS TO BE MAINTAINED ON A WEEKLY BASIS USING A NATURAL MAINTENANCE PROGRAM AND SHALL BE MAINTAINED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICE OF THE LANDSCAPE INDUSTRY.

ALL TREES AND SHRUBS LOCATED IN THE UGHN OF SIGHT WILL BE MAINTAINED FOR A CLEAR AREA BETWEEN 3' TO 7'. THE UGHN OF SITE IS OUT OF THE SCOPE OF WORK ON THIS PROJECT.

ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THIS OWNER OR LESSEE IN ACCORDANCE WITH THESE APPROVED PLANS

REQUIRED LANDSCAPE AREAS SHALL BE FREE FROM ENCROACHMENT BY ANY USE, STRUCTURE, VEHICLE OR FEATURE NOT PART OF THE LANDSCAPE DESIGN.

T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING

10450 N. 74th Street, Suite 120
 Scottsdale, Arizona 85258
 P. (602) 265-0320

EMAIL: timccqueen@tjma.net

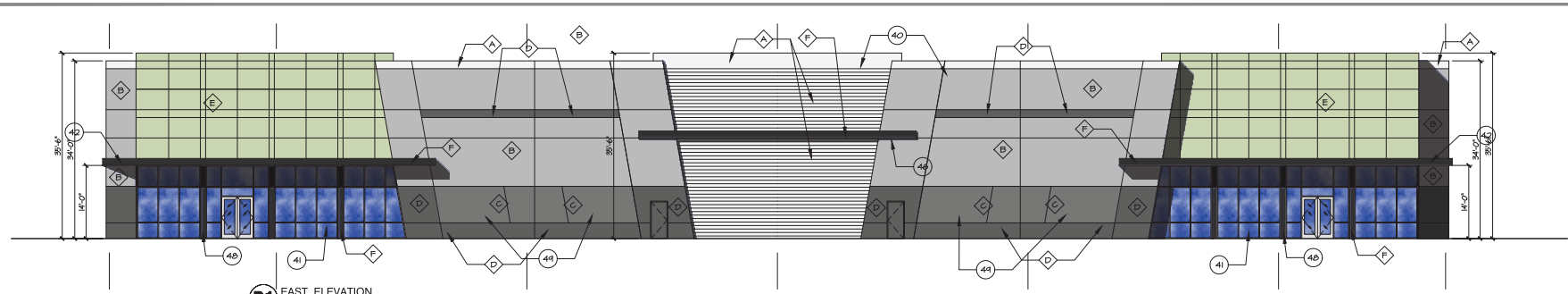


MESA GATEWAY
 5028, 5042 & 5054 SOUTH 71ST STREET
 MESA, AZ

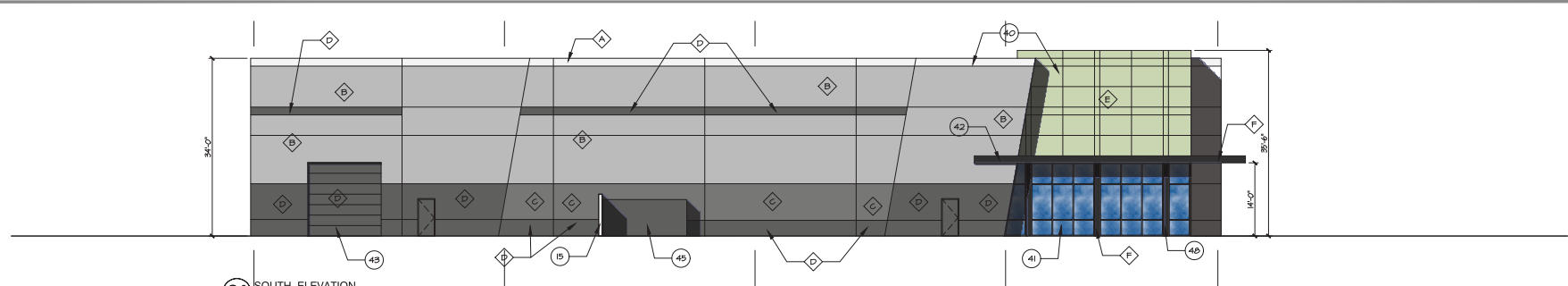
11/22/2019
 DR / SITE PLAN

11/22/2019
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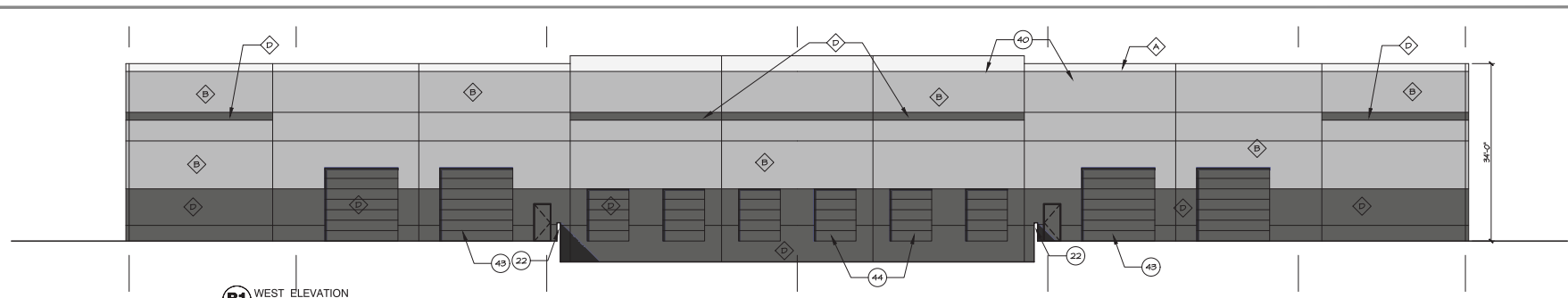
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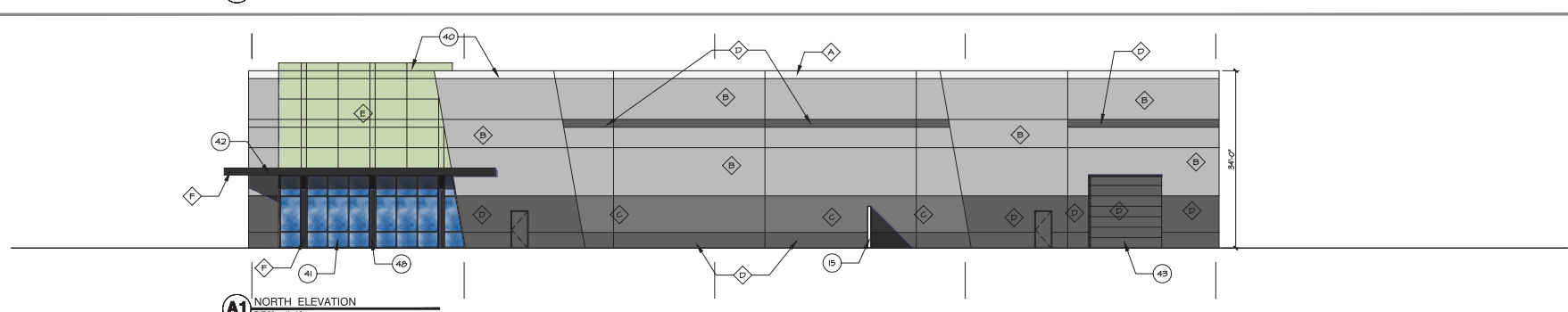
D1 EAST ELEVATION
3/32" = 1'-0"



C1 SOUTH ELEVATION
3/32" = 1'-0"



B1 WEST ELEVATION
3/32" = 1'-0"



A1 NORTH ELEVATION
3/32" = 1'-0"

KEY NOTES

- 15. 8' HIGH SCREEN WALLS TO TRUCKING
- 22. TILT CONCRETE GUARDRAIL 4IN 3'-4" ABOVE HIGHEST ADJACENT GRADE
- 40. TILT CONCRETE WALLS
- 41. DUAL PANEL EGG COMPLIANT STOREFRONT
- 42. STEEL CANOPY ABOVE
- 43. 14' X 14' OVERHEAD DOOR
- 44. 8'X10' OVERHEAD DOOR
- 45. SEES
- 46. STEEL BEAM ABOVE
- 48. STEEL SUPPORT COLUMNS
- 49. KNOCK OUT PANEL

STOREFRONT

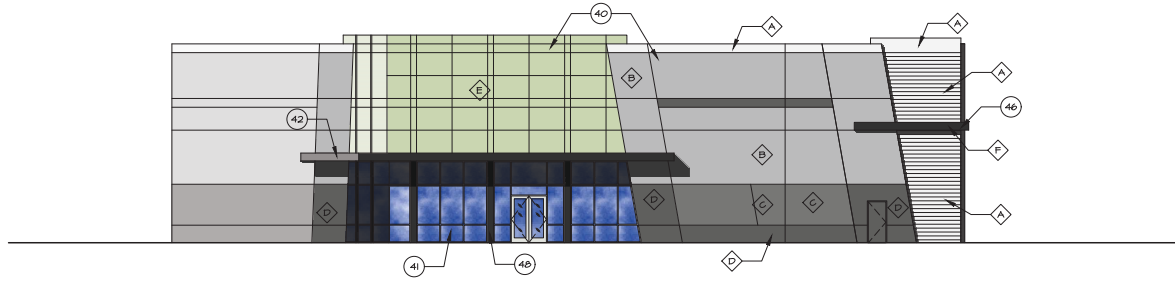
- ALUMINUM STOREFRONT SYSTEM**
- ARCADIA (MFG45) 2" X 4 1/2", CENTER GLAZED NON-THERMAL STOREFRONT
- CLEAR ANODIZED ALUMINUM FINISH
 - 1" OVERALL GLAZING - SEE GLAZING BELOW
- INSULATED GLAZING**
- OUTBOARD: 1/4" PPG SOLARBAN RIOO ON CLEAR IG
 - AIR SPACE: 1/2" SPACER, AIR FILLED
 - INBOARD: 1/4" CLEAR
 - U-FACTOR - (0.28), SHGC = 0.23

FINISH SAMPLES

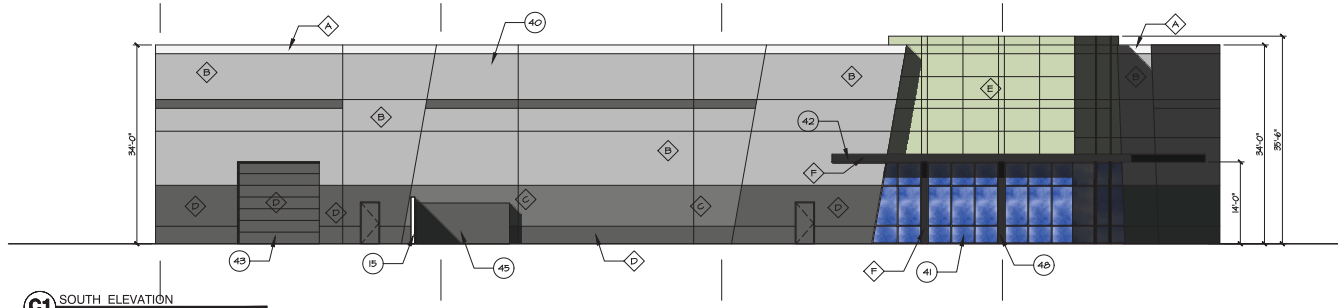
- CONCRETE TILT PANEL COLOR 1
DINN EDWARDS DE8895 LIGHTHOUSE
- CONCRETE TILT PANEL COLOR 2
DINN EDWARDS DE8361 COVERED IN PLATINUM
- CONCRETE TILT PANEL COLOR 3
DINN EDWARDS DE8264 LEGENDARY GRAY
- CONCRETE TILT PANEL COLOR 4
DINN EDWARDS DE8370 CHARCOAL SHADDE
- CONCRETE TILT PANEL COLOR 5
DINN EDWARDS DE8583 JADE BRACELET
- METAL COLOR 6
DINN EDWARDS DE8181 BLACK



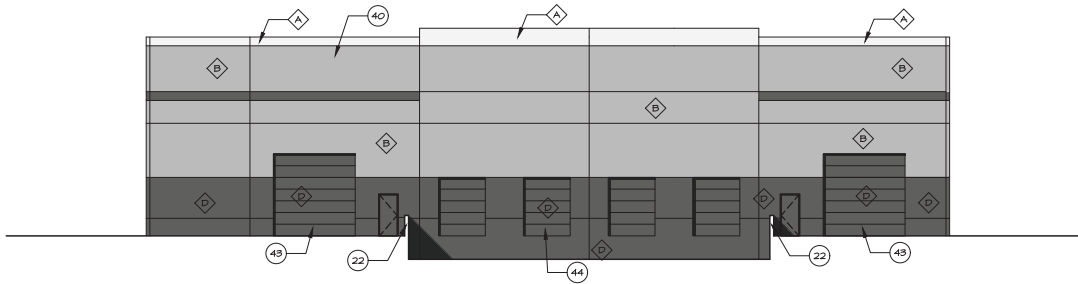
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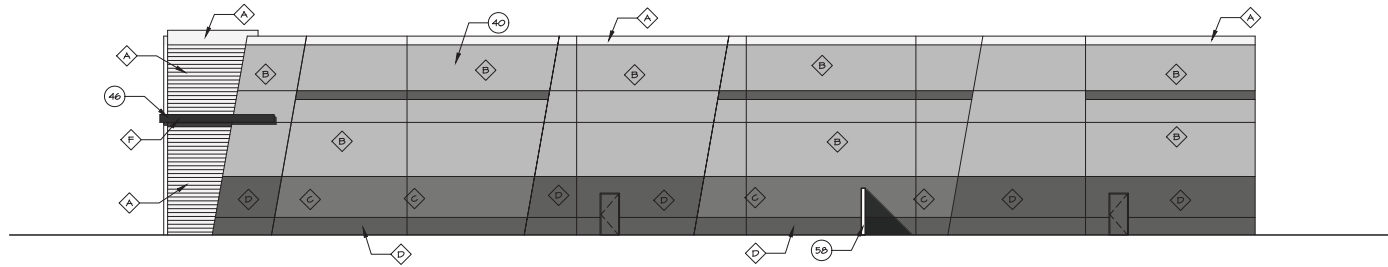
D1 EAST ELEVATION
3/32" = 1'-0"



C1 SOUTH ELEVATION
3/32" = 1'-0"



B1 WEST ELEVATION
3/32" = 1'-0"



A1 NORTH ELEVATION
3/32" = 1'-0"



KEY NOTES

- 15. 8' HIGH SCREEN WALLS TO TRACKING
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- 40. TILT CONCRETE WALLS
- 41. DUAL PANE EGG COMPLIANT STOREFRONT
- 42. STEEL CANOPY ABOVE
- 43. 14' X 14' OVERHEAD DOOR
- 44. 8'X20' OVERHEAD DOOR
- 45. SEE
- 46. STEEL BEAM ABOVE
- 47. STEEL SUPPORT COLUMNS
- 48. KNOCK OUT PANEL

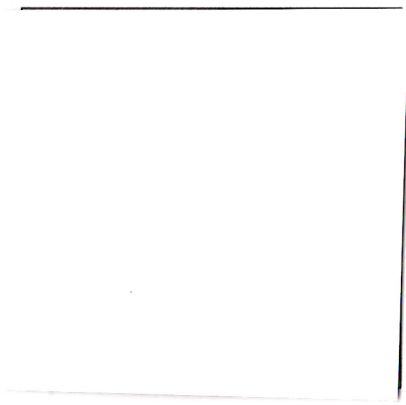
STOREFRONT

- ALUMINUM STOREFRONT SYSTEM**
- ARGADIA AFG451 2" X 4 1/2", CENTER GLAZED NON-THERMAL STOREFRONT
- CLEAR ANODIZED ALUMINUM FINISH
 - 1" OVERALL GLAZING - SEE GLAZING BELOW
- INSULATED GLAZING**
- OUTBOARD: 1/4" PFS SOLARBAN BLOO ON CLEAR 1/2"
 - AIR SPACE: 1/2" SPACERS, AIR FILLED
 - INBOARD: 1/4" CLEAR
 - U-FACTOR = (0.29), SHGC = 0.23

FINISH SAMPLES

-  CONCRETE TILT PANEL COLOR 1
DINN EDWARDS D26395 LIGHTHOUSE
-  CONCRETE TILT PANEL COLOR 2
DINN EDWARDS D26361 COVERED IN PLATINUM
-  CONCRETE TILT PANEL COLOR 3
DINN EDWARDS D26384 LEGENDARY GRAY
-  CONCRETE TILT PANEL COLOR 4
DINN EDWARDS D26370 CHARCOAL SMUDGE
-  CONCRETE TILT PANEL COLOR 5
DINN EDWARDS D25683 JADE BRACELET
-  METAL COLOR 6
DINN EDWARDS D26181 BLACK

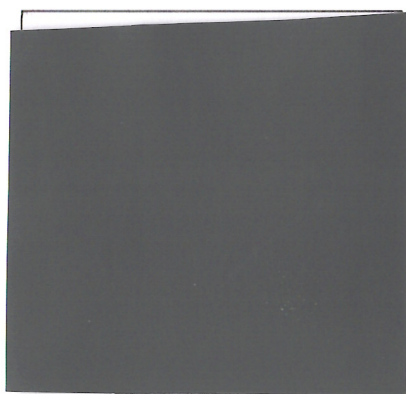
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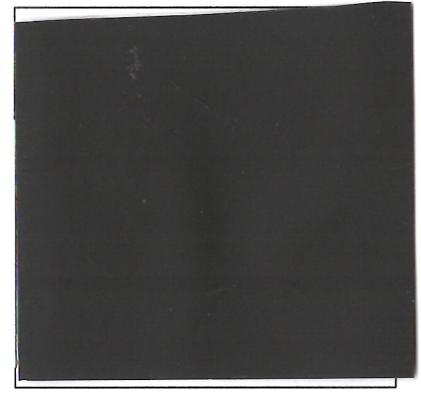
CONCRETE TILT PANEL
COLOR 1
DUNN EDWARDS DEW385
LIGHTHOUSE



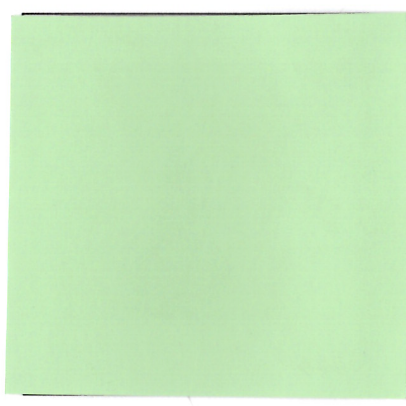
CONCRETE TILT PANEL
COLOR 2
DUNN EDWARDS DE6367
COVERED IN PLATNUM



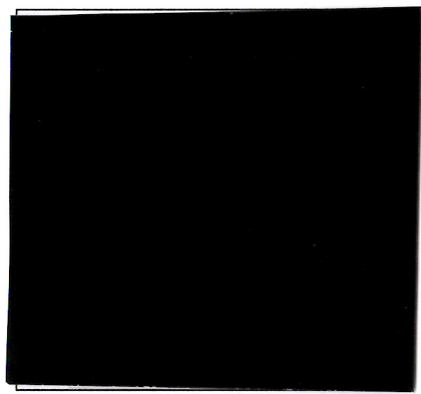
CONCRETE TILT PANEL
COLOR 3
DUNN EDWARDS DE6369
LEGENDARY GRAY



CONCRETE TILT PANEL
COLOR 4
DUNN EDWARDS DE6370
CHARCOAL SMUDGE



CONCRETE TILT PANEL
COLOR 5
DUNN EDWARDS DE5583
JADE BRACELET



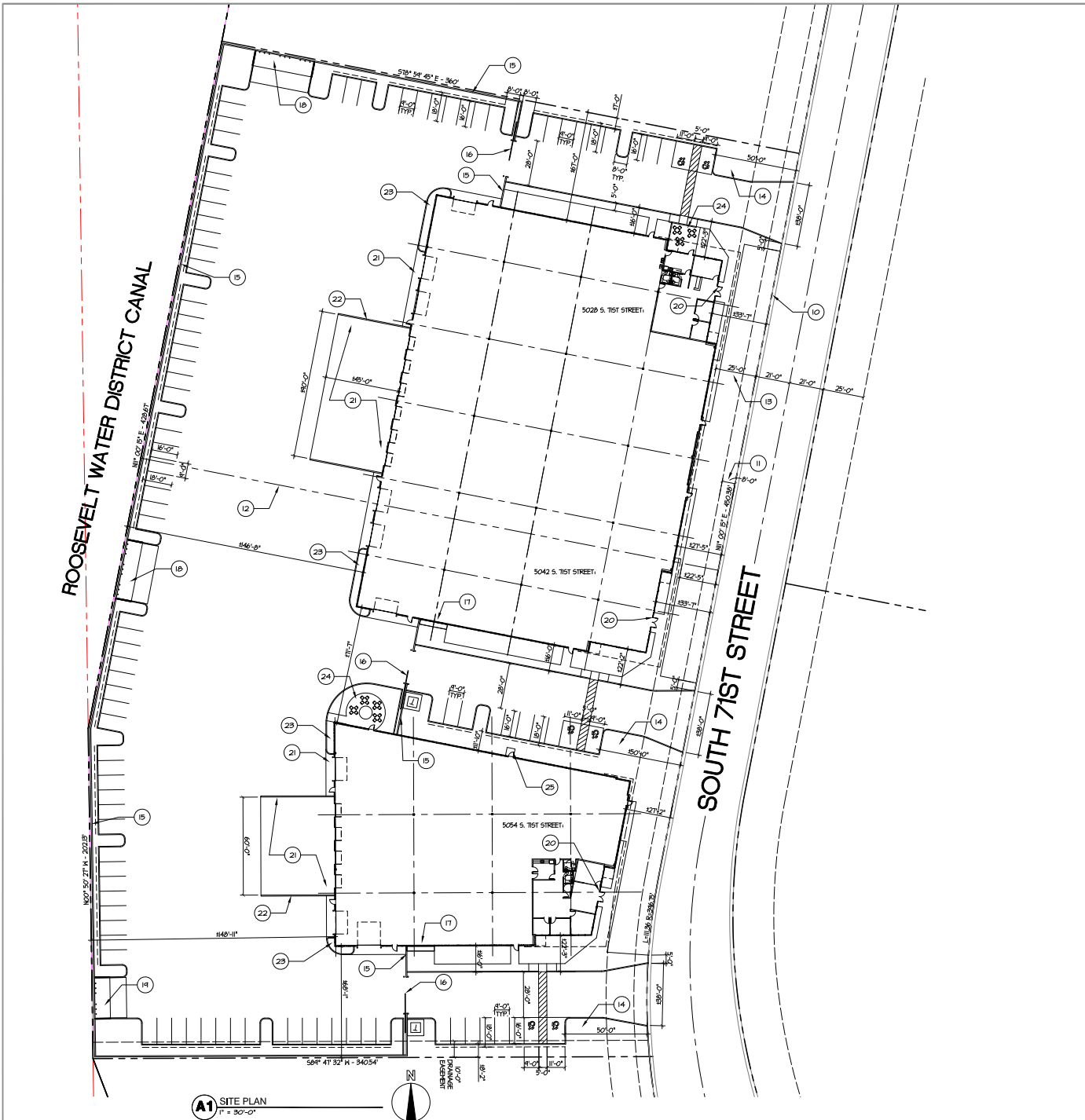
METAL COLOR 6
DUNN EDWARDS DEA187
BLACK

BCMA
ARCHITECTURE

PRELIMINARY
NOT FOR CONSTRUCTION

COLOR BOARD
SCALE: N.T.S.
DATE: 11/20/2019

322 W. KNIGHT LANE, TEMPE, AZ 85284 - C. 602-571-5728 - T. 480.664.6224 - BRIAN@BCMAARCH.COM



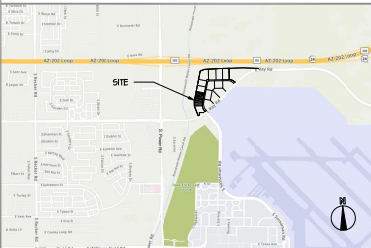
PROJECT DATA

PARCEL NUMBER:	304-30-050, 304-30-051
BUSINESS PARK:	RAY ROAD COMMERCE CENTER NORTH
ZONING:	LI-PAD-AF
SITE AREAS:	
304-30-050:	93,600 SF
304-30-051:	110,564 SF
TOTAL:	211,964 SF
GROSS BUILDING AREAS:	
5028 & 5042 S. 71ST STREET:	46,715 SF
5054 S. 71ST STREET:	20,228 SF
TOTAL:	66,943 SF
GROSS FLOOR AREAS:	
5028 & 5042 S. 71ST STREET:	46,123 SF
5054 S. 71ST STREET:	19,836 SF
TOTAL:	65,959 SF
BUILDING HEIGHTS:	
5028 & 5054 S. 71ST STREET:	32 FT
PARKING REQUIRED:	
5028 & 5042 S. 71ST STREET:	
46,123 SF @ 25% OFFICE:	11531 SF @ 1/175 SF = 31 SPACES
34,942 SF @ 1/400 SF = 30 SPACES	
TOTAL = 61 SPACES	
PARKING PROVIDED:	
5054 S. 71ST STREET:	
1836 SF @ 25% OFFICE:	4591 SF @ 1/175 SF = 13 SPACES
14871 SF @ 1/400 SF = 11 SPACES	
TOTAL = 24 SPACES	
TOTAL REQUIRED= 85 SPACES	
PARKING PROVIDED:	
STANDARD SPACES =100	
ACCESSIBLE SPACES =6	
TOTAL 106 SPACES	

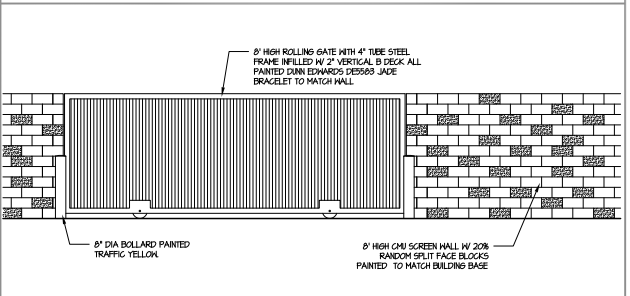
KEY NOTES

- PROPERTY LINE AND BACK OF CURB
- 1.5' RISE
- PROPERTY LINE TO BE ABANDONED FOR LOT COMBINATION
- 25' UTILITY & DRAINAGE EASEMENT
- 4' 3" HIGH LANDSCAPING PROVIDING REQUIRED SCREENING
- 8' HIGH CMU SCREEN WALLS TO TRUCKING / STORAGE YARD
- 22" H 8' HIGH ROLLING GATE W/ B-DECK INFILL AND FIRE KICK BOX
- 5'S
- TRIPLE WIDE TRASH ENCLOSURE PER COM DETAIL M-42.03
- DOUBLE WIDE TRASH ENCLOSURE PER COM DETAIL M-42.02
- MAIN ENTRIES FACING STREET
- 3' 5" WIDE CONCRETE APRON @ TRUCK DOCKS AND MAIN DOORS
- TILT CONCRETE GUARDRAIL MIN 3'-6" ABOVE HIGHEST ADJACENT GRADE.
- 25' LANDSCAPED D6 AREA BEHIND CURB ADJACENT TO BUILDING
- INTERNAL COLORED CONCRETE PATIO SPACE FOR OUTDOOR SEATING
- 25' FIRE PERSONNEL ACCESS DOOR

VICINITY MAP



SCREEN WALL & GATE ELEVATION



BCMA ARCHITECTURE

ARCHITECTURE
PLANNING
COLLABORATION

132 W. ANSELMI LN. TEMPE, AZ 85284
T: 480.221.1995 F: 480.264.0222

MESA GATEWAY

5028, 5042 & 5054 SOUTH 71ST STREET
MESA, AZ

1/17/2020
1/13/2020

REVISED SITE PLAN
REVISED SITE PLAN
REVISED SITE PLAN

1/22/2020
1/22/2020

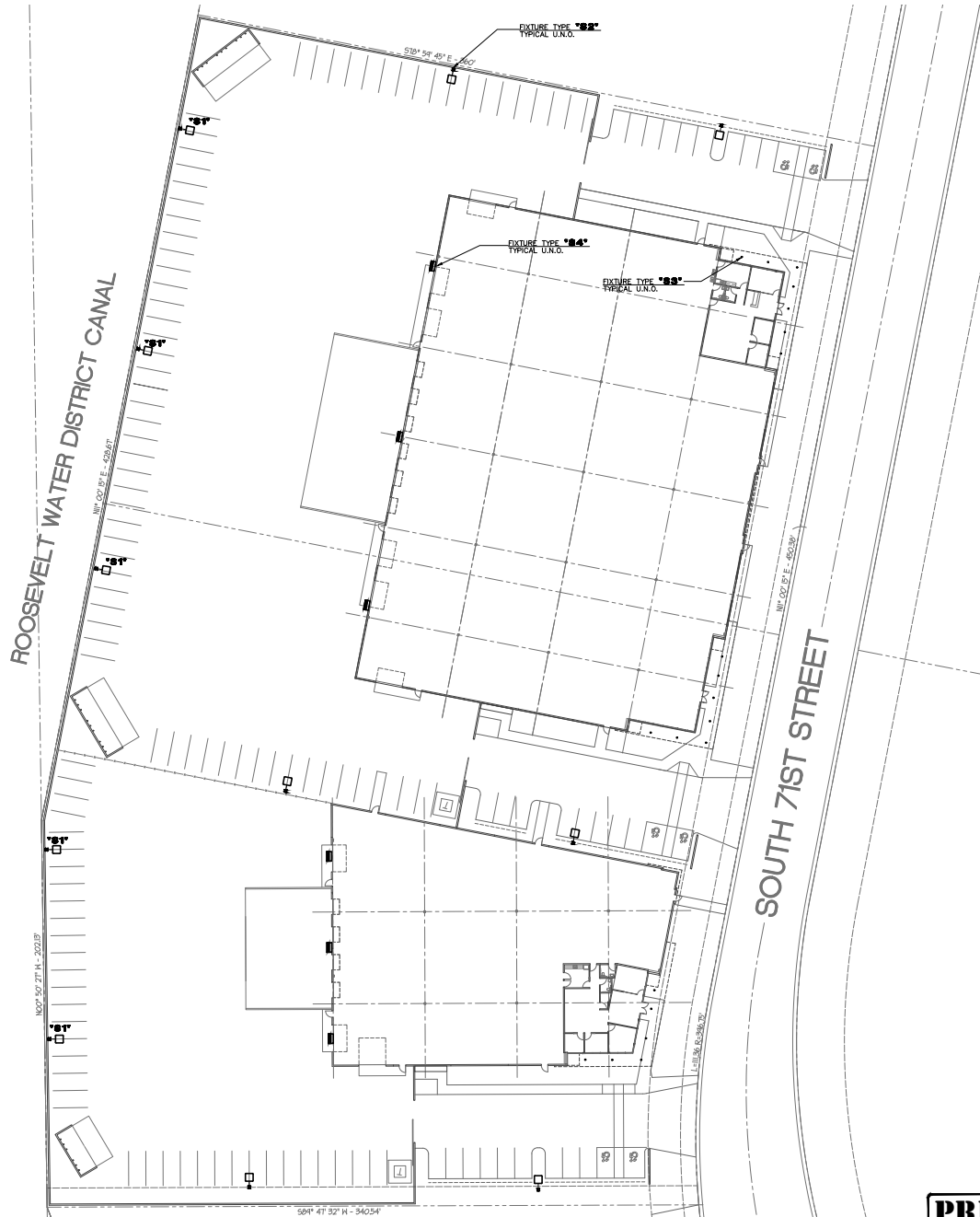
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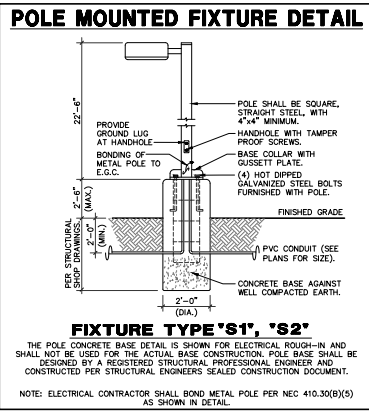
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LUMINAIRE SCHEDULE

- PROVIDE 90 MINUTE EMERGENCY BATTERY BACK-UP FOR ALL EMERGENCY FIXTURES. SEE SCHEDULE BELOW FOR SPECIFICATIONS AND LUMEN REQUIREMENTS.
- MODULAR WIRING SYSTEM FOR LIGHT FIXTURES IS AN ACCEPTABLE ALTERNATE.
- BASE BID FOR LUMINAIRES SHALL BE BASED ON MANUFACTURERS LISTED IN CONTRACT DOCUMENTS UPON AWARD OF PROJECT. ALTERNATES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED WITH WRITTEN OWNER APPROVAL AND AN ITEMIZED SCHEDULE TO BASE BID.
- ALTERNATE FIXTURE SELECTIONS MAY REQUIRE ADDITIONAL TIME FOR SUBMITTAL REVIEW & POSSIBLE ENGINEERING DESIGN CHANGES, TO BE BILLED TO THE CONTRACTOR.
- PROVIDE MINIMUM 10 MINUTE TIME DELAY ON EMERGENCY FIXTURES WHEN HID AREA LIGHTING IS USED.

MARK	MANUFACTURER MODEL NUMBER	VOLTS	LAMPS OR CCT INPUT WATTS	REMARKS/MOUNTING
S1	US AREA LIGHTING R2R-G-PLD-IV-FT-100L-300W-W-27	277V	LED	DIMMABLE POLE MOUNTED AREA LIGHT. REFER TO POLE MOUNTED FIXTURE DETAIL THIS SHEET.
	HS-RAL-8019-T-S		192W	
	US AREA LIGHTING R2R-G-PLD-II-W-100L-300W-W-27		LED	DIMMABLE POLE MOUNTED AREA LIGHT. REFER TO POLE MOUNTED FIXTURE DETAIL THIS SHEET.
S2	HS-RAL-8019-T-S	277V	LED	DIMMABLE POLE MOUNTED AREA LIGHT. REFER TO POLE MOUNTED FIXTURE DETAIL THIS SHEET.
	PRESCOLITE L20M-15M		LED	DIMMABLE 6" DOWNLIGHT, PROVIDE WITH 90 MINUTE BATTERY BACKUP WHERE NOTED 'EM'.
	6LCLM-24L-30K-8		32.5W	
S4	US AREA LIGHTING R2R-WMS-PLD-IV-FT-100L-300W-W-27	277V	LED	WALL MOUNTED AREA LIGHT. MOUNTING HEIGHT: 25'-0"
	HS-RAL-8019-T-S		98W	



NOTE: PRE-CURFEW DESIGN HOURS SHALL BE DEFINED FROM NOT LATER THAN ONE HOUR AFTER BUSINESS CLOSING AND POST-CURFEW DESIGN HOURS SHALL BE DEFINED AS NOT EARLIER THAN ONE HOUR BEFORE BUSINESS OPENING. ALL EXTERIOR LIGHTS SHALL BE DIMMED BY 30% DURING POST-CURFEW TO COMPLY WITH IECC 2018 C405.2.6. EXTERIOR LIGHTING CONTROLS.

ELECTRICAL SITE LIGHTING PLAN
SCALE: 1" = 30'-0"

**PRELIMINARY
NOT FOR CONSTRUCTION**

Project Contact/Designer: **JOHN SANDERS**
 Project # **19476**
HAWKINS DESIGN GROUP INC.
 ELECTRICAL CONSULTING ENGINEERS
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10/22/2018
 10/22/2018
 Job Number:

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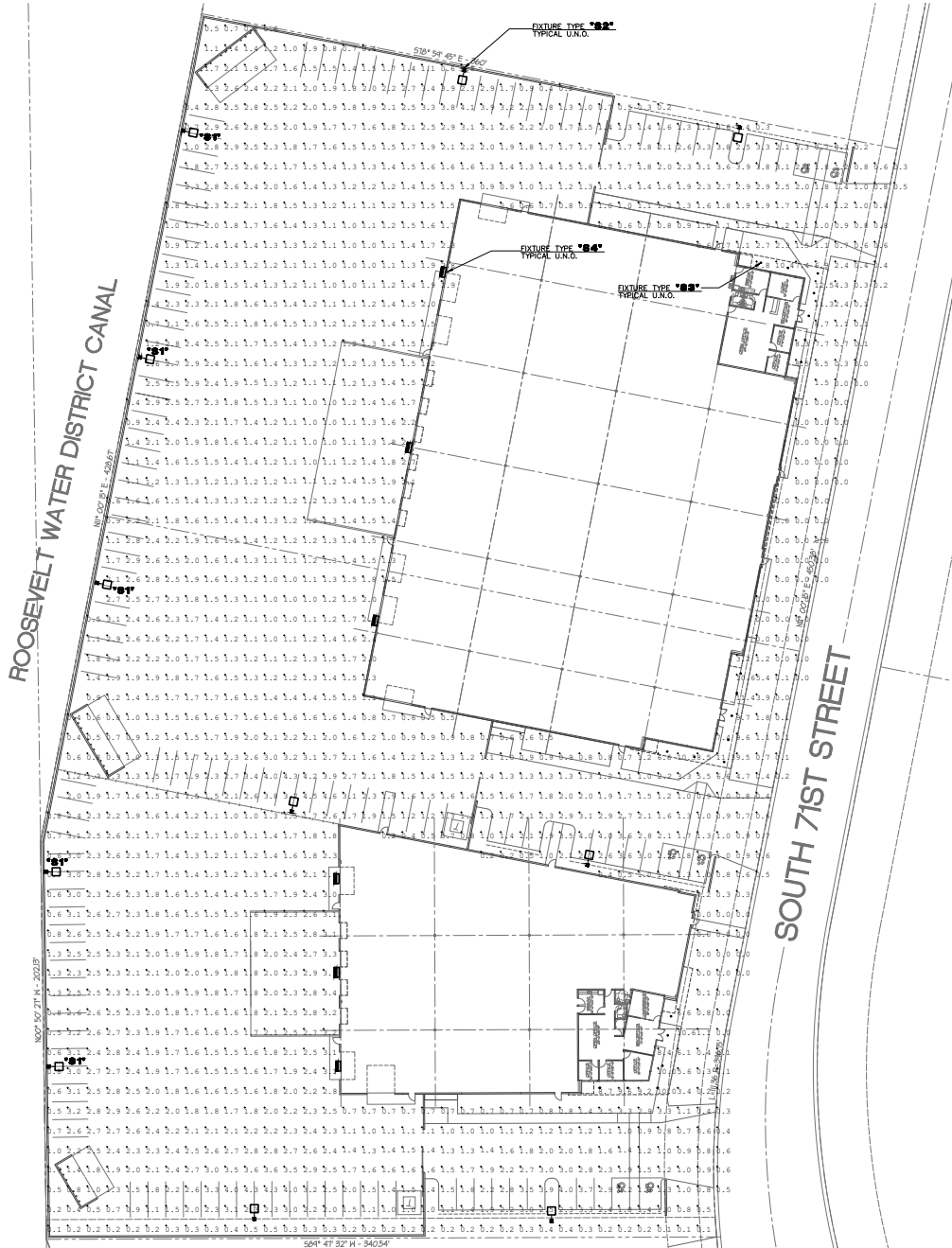
MESA GATEWAY
 5028, 5042 & 5054 SOUTH 71ST STREET
 MESA, AZ

10/22/2018
 10/22/2018
 Job Number:

DR1.0

11/22/2018 - DR / SITE PLAN SUBMISSION

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ELECTRICAL SITE PHOTOMETRICS

SCALE: 1" = 30'-0"

Qty	Label	Symbol	Manufacturer	Description	Mounting Height	LF	Lumens	Watts	Total Watts
5	S1		U.S. ARCHITECTURAL LIGHTING	R28-G-PLD-1V-PT-120LED-525mA-NW-RS	25'	0.920	18179	192	960
6	S2		U.S. ARCHITECTURAL LIGHTING	R28-G-PLD-1V-PT-120LED-525mA-NW-RS	25'	0.920	18179	192	1152
20	S3		U.S. ARCHITECTURAL LIGHTING	R28-G-PLD-1V-PT-120LED-525mA-NW-RS	25'	0.920	18179	192	3600
6	S4		U.S. ARCHITECTURAL LIGHTING	R28-G-PLD-1V-PT-120LED-525mA-NW-RS	25'	0.920	18179	192	1152

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site Plan	Illuminance	FC	1.74	12.5	0.0	N/A	N/A



**PRELIMINARY
NOT FOR CONSTRUCTION**

Project Contact/Owner: **JOHN SANDERS**
Project # 19476

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IF DRAWING IS NOT PLOTTED AT 24 X 36 THEY ARE NOT FULL SIZE

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